

PERMIT APPLICATION

CITY OF ELMWOOD

201 W MAIN STREET

ELMWOOD IL 61529-9111

309-742-2351

Applicable Building Codes (the following list of codes with amendments)

2006 International Building Code

2006 International Fire Code

2006 International Residential Code

2006 International mechanical Code

2006 International Fuel Gas Code

2006 International Existing Building Code

2004 Part 890 Illinois Plumbing Code

2006 International Property Maintenance Code

2012 International Energy Conservation Code (State Mandated 2012 IECC)

Illinois Accessibility Code

National Electrical Code (NFPA70) current version

Application for: _____ Residential Building Permit for: _____ Estimate of Value: \$ _____

Dwelling, Attached Garage, Detached
Garage, Porch, Carport, Decks

_____ Swimming Pool

_____ Fence

Permit Fee: \$ _____

(See Schedule Attached) **NO REFUNDS**

_____ Commercial Building

_____ Demolition

State Roofing License # _____

_____ Sign

_____ *Alteration or Remodeling

(*Alteration or remodeling of existing building or structure shall include any changes in structural members, stairways, basic construction, type, kind or class of occupancy, light or ventilations, means of egress and ingress or any other changes affecting or regulated by the Building code, except for minor repairs of changes not involving any of the aforesaid provisions)

Owner: _____ Address: _____

Contractor: _____ Address: _____

Applicant: _____ Address: _____

Applicant's Contact Number: _____

Construction Site Address: _____

Subdivision: _____

(Any subdivision covenants that apply are the individual's responsibility)

Zoning Classification: _____

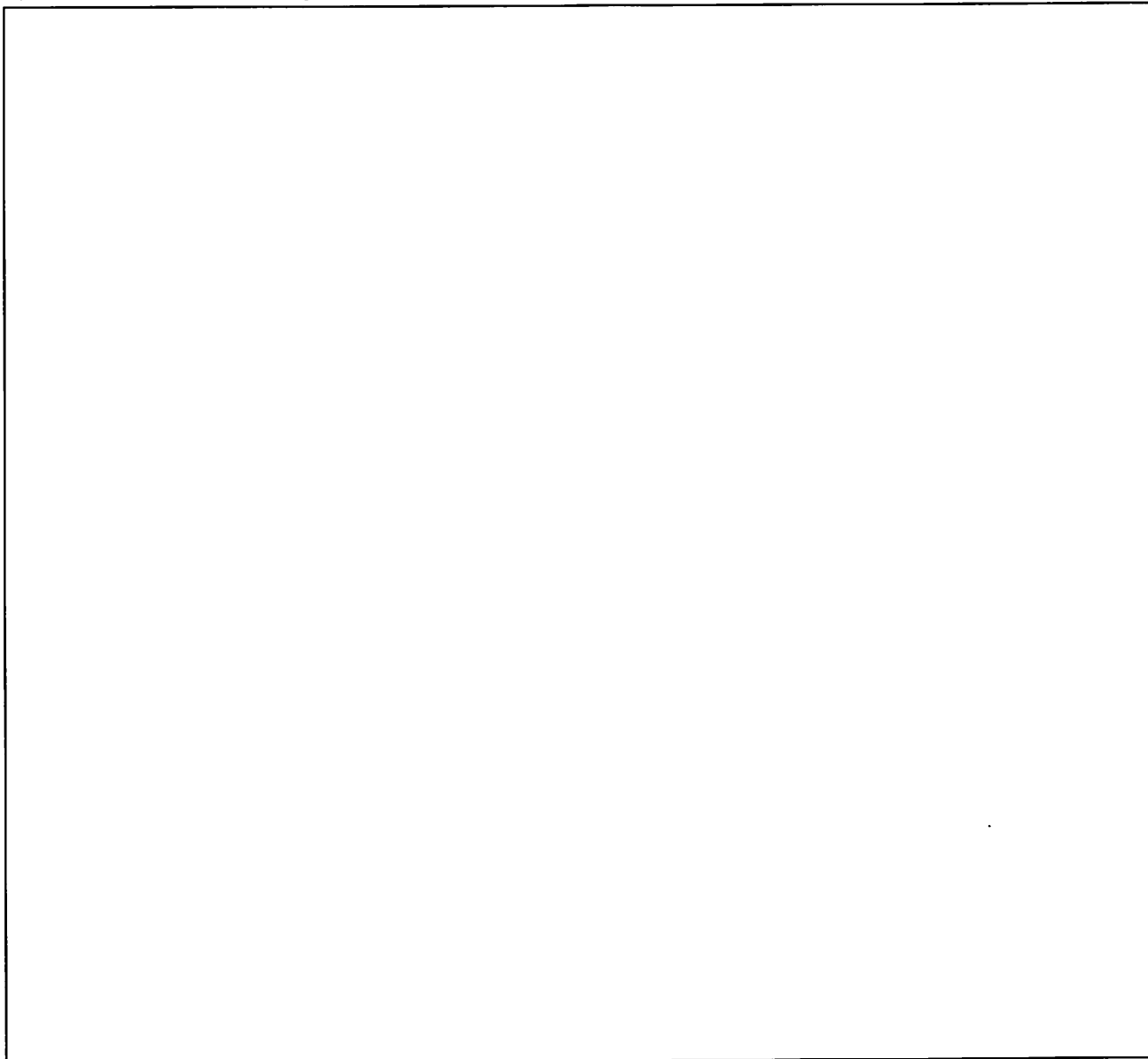
Specify use type: _____

(dwelling, fence, etc.)

The layout shown below represents your lot. The dimensions of your lot, width and depth are required to be shown on the layout. Show the location of existing buildings on the lot, the footage from the four property lines, the location of the proposed building with the footage from the four property lines for the new construction. Also show any street and/or alley adjacent to the property as well as North arrow. The research and locations of all easements (e.g. sewer, electric, telephone, gas, water, etc..) is the responsibility of the property owner.

SKETCH ALL STRUCTURES ON THE PROPERTY WITH DIMENSIONS AND SETBACKS.

(IMPORTANT: Setback footage from the property lines should be accurate)



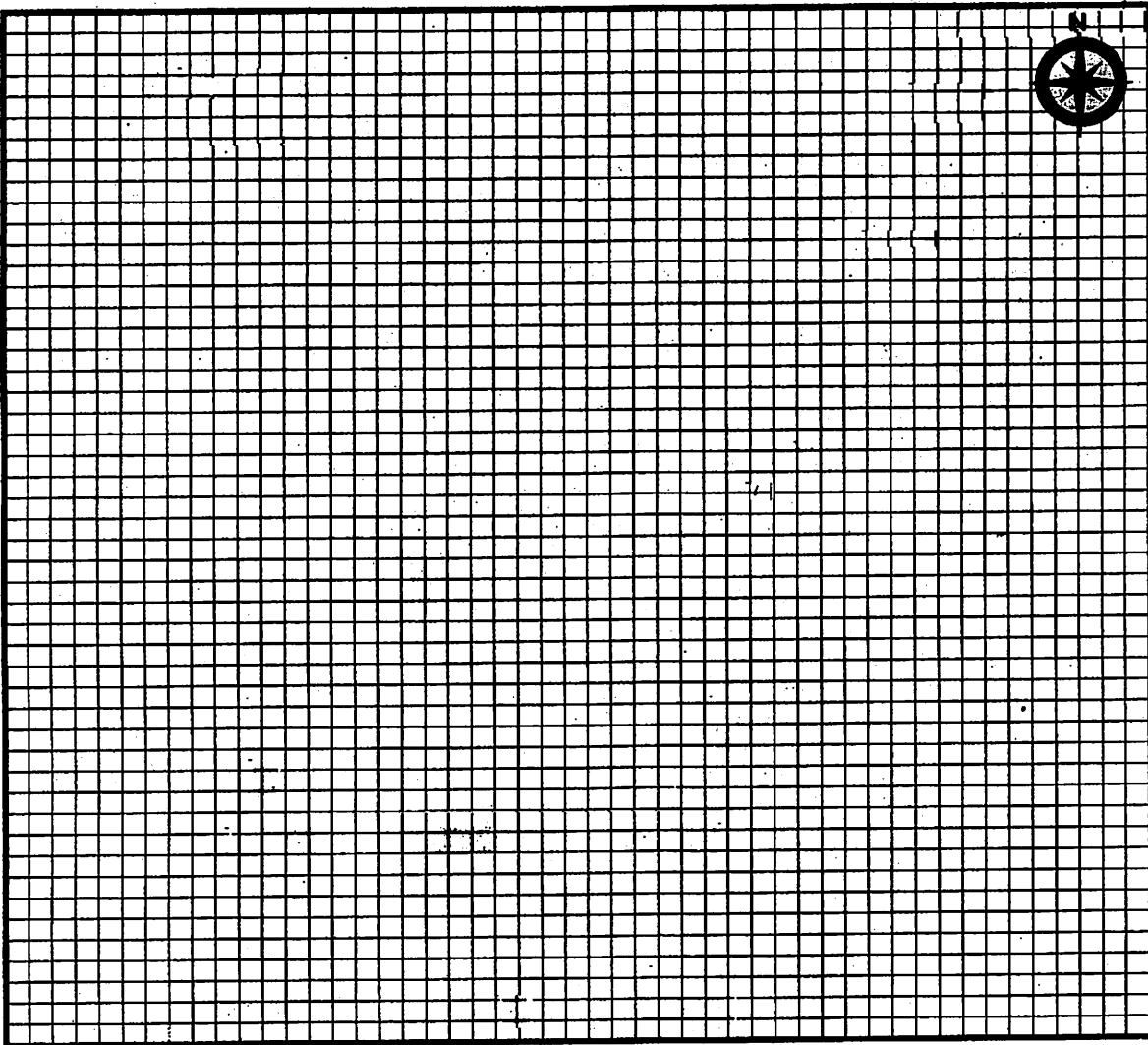
I have carefully read this application and understand and agree to abide by all provisions of the City of Elmwood's Municipal Code and all the State of Illinois laws. Further, I agree and understand the permit issued may be revoked without notice on any breach of representation or conditions.

Signature of Owner or Authorized Agent

Date

SITE PLAN

size of site: _____ acres or dimensions: _____ X _____





Complete the site plan using blue or black ink. Include the following information on the site plan above or attach a reproducible site plan with the same information:

- all existing and/or proposed buildings and structures and the dimensions of each
- topographical information such as roads, trees, ponds, hills, gullies, streams, etc...
- label all structures (e.g. house, shed, garage, etc...)
- label requests pertinent to this petition

LEGEND

Property line =

Existing structure = 

Proposed structure = 

Fence = 

Tree =

BUILDING PERMIT FEE SCHEDULE

ONE-FAMILY AND TWO-FAMILY RESIDENTIAL: NEW CONSTRUCTION, ADDITIONS AND ALTERATIONS

Fee per square feet.....\$0.50
Minimum fee, new construction.....\$1,000.00
Minimum fee, additions.....\$500.00
Minimum fee, major alterations.....\$250.00
Minimum fee, minor alterations.....\$75.00

COMMERCIAL

Fee per square feet.....\$0.75
Minimum.....\$1,000.00
Maximum.....\$7,500.00

ELECTRICAL, PLUMBING, HVAC (Including generators)

New construction, additions.....no additional fee
Alterations.....\$75.00 per additional permit

MISCELLANEOUS BUILDING PERMITS

Swimming pools:
Aboveground.....\$50.00
Partially or totally submerged.....\$100.00

Fences (front yard only).....\$55.00

Sign permit
No electrical.....\$50.00
With electrical.....\$105.00

Demolition permit.....\$50.00

Accessory buildings (other than garages)
< 100 sf.....\$50.00
≥100 sf.....\$100.00

Garages (detached)
<600 sf.....\$250.00
≥600 sf.....\$500.00

Decks.....\$250.00

**CITY OF ELMWOOD
REQUIRED BUILDING INSPECTIONS
(YOU MUST MAINTAIN A SET OF PERMIT DOCUMENTS AT THE SITE)**

1. **FOOTINGS/EXCAVATION, with**
 - a. **Form set**
 - b. **Reinforcing installed**
 - c. **Erosion control in place**
 - d. **Temporary electrical service completed**

NOTE: For underground/under-slab plumbing inspections contact the Illinois State Plumbing inspector at 217-782-3518.

2. **FOUNDATION WALLS (prior to backfill)**
3. **FRAMING, EXTERIOR ENVELOPE, MECHANICAL AND ELECTRICAL ROUGH-IN**

NOTE: Truss engineering package must be included with permit documents. For plumbing inspections contact the Illinois State Plumbing inspector at 309-210-8963.

4. **INSULATION**
5. **FINAL**

INSPECTIONS FOR: BUILDING	RESIDENTIAL	DAVE HALL
STRUCTURAL		309-368-4460
HVAC		
ELECTRICAL	COMMERCIAL	SCOTT WOLF
FIRE PROTECTION		309-251-7346

INSPECTIONS FOR: PLUMBING	CALL: BRIAN MCGRATH
	309-276-6195

OTHER CONTACT INFORMATION:

UTILITY LOCATIONS:	(JULIE) 811 OR 1-800-892-0123 or
	www.illinois1call.com

911 ADDRESS ASSIGNMENT	309-495-4886
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AMEREN ILLINOIS	SHERRI L. LINDLEY
	309-693-4719
	309-360-5193

FRONTIER	1-877-462-8188
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LIST OF CONTRACTORS

1. GENERAL CONTRACTOR: _____

2. FOUNDATION: _____

3. PLUMBING: _____

ILLINOIS STATE LICENSE# _____

4. HVAC: _____

5. ELECTRICAL: _____

6. ROOFING: _____

ILLINOIS STATE LICENSE# _____

CITY OF ELMWOOD CHECKLIST FOR NEW SINGLE FAMILY DWELLINGS AND DUPLEXES

- **PROVIDE A COMPLETED PERMIT APPLICATION.** Attach your Zoning Certificate obtained from Elmwood Zoning Administrator 201 W Main St, Elmwood IL.
- **PROVIDE 4 COPIES OF THE SITE PLAN.** Providing a detailed site plan is required to verify compliance with zoning requirements and helps in determining and issuing any required right-of-way permits. See the list of items to be included on the site plan.
- **PROVIDE 4 SETS OF BUILDING PLANS.** Residential plans do not require an architect's seal. See the list of items to be included on plans.
- **PROVIDE ENGINEERING SPECIFICATIONS FOR TRUSSES, I-JOIST, LVL'S, LAM'S AND STEEL BEAMS, ECT.** All beam specifications are required at the time of application. Other specifications may be provided at a later date.
- **PROVIDE A RESCHECK.** Effective 1/29/10 all permits issued after this date must meet the 2012 INTERNATIONAL ENERGY CODE per Illinois State law know as THE ENERGY EFFICIENT BUILDING ACT #20 ILCS 312.009. If using REScheck to verify compliance it must pass the 2012 edition of REScheck, available at <http://energycode/pnl.gov/REScheckWeb/> A prescriptive method may also be used. A detailed checklist can be provided to help verify compliance.
- **APPLICATIONS ARE AVAILABLE ONLINE AT www.elmwoodil.com**
- **THE APPLICANT IS REQUIRED TO OBTAIN THE PERMIT PRIOR TO STARTING CONSTRUCTION**
- **OUR GOAL FOR REVIEW AND PROCESS TIME REQUIRED PRIOR TO THE ISSUANCE OF A NEW SINGLE FAMILY PERMIT IS 72 HOURS.**
- **FOR ANY QUESTIONS OR CONCERNS YOU MAY CONTACT ELMWOOD CITY HALL AT 309-742-2351 OR VISIT OUR OFFICE AT 201 W MAIN ST, ELMWOOD IL.**

ITEMS TO BE INCLUDED ON RESIDENTIAL PLANS (Building plans minimum scale: ¼ in per foot)

1. Site plan drawn to an identified scale

- Label property lines
- Show the distance between the property lines and the proposed structure
- Depict the driveway and show the width
- Show directional North arrow

2. Elevations

- Show all 4 sides of the house (indicate exterior wall covering)

3. Foundation plan

- Footing size
- Pier pad location and size
- Wall type and height (height of backfill)
- Vertical rebar size and on center spacing
- Vapor barrier
- Label required egress window
- Indicate location of sump pump and floor drain
- Indicate if basement is unfinished or finished (if finished, label rooms and provide sq ft)

4. Floor plans

- Indicate the sq ft of living space
- Label all rooms
- Show dimensions of rooms and include size of wall openings and header sizes
- Label required egress windows
- Show wall height (all that exceed 8' provide a framing detail)

5. Provide length of dryer vent (include the number and type of elbows)

6. Provide wall section representative of building submitted

- Include insulation R values
- Show ice shield
- Size of overhang
- Show vapor barrier
- Indicate wall sheathing or alternate

7. Provide engineering specifications for all laminated beams, LVL's, steel beams, I-Joist and trusses

- Provide layout of I-Joist and truss systems

Providing us with the above information reduces our review time, allows us to issue you the permit faster and helps eliminate discrepancies during the construction of your project.

APPLICATION FOR SANITARY SEWER AND/OR WATER SERVICE CONNECTION

The undersigned, representing himself as owner of the property located at _____, hereby makes application for Sanitary Sewerage and/or Water Service for said property and in consideration of the furnishing of said service covenants and agrees as follow:

1. I agree to abide by all rules and regulations as specified in and by the ordinances of the City now in effect or ordinances enacted and passed from time to time providing for the regulation of the sanitary sewer system of specifying fees and rates to be charged for connection and sanitary sewer service furnished by the City. It is further acknowledged and agreed that the undersigned, his heirs, executors, administrators, successors and assigns shall pay all charges for connections fees and sewer usage which shall become due as the result of the connecting of the sewerage mains and the furnishing of sanitary sewerage service to the above property and that all such charges and fees for sanitary sewerage service rendered to the property, together with penalties, if any and the costs of collection are to be considered and become a charge against the property, the lien so created to be enforced in accordance with the ordinances of the City.
2. All bills for the aforesaid charges are payable and due on the **fifteenth (15th)** day of each month and if not paid, are subject to a ten **percent (10%)** penalty.
3. Each and all of the agreements and covenants herein contained shall run with the real estate above described whose present owner is signatory to this application.
4. I understand that after making this application, I am to await installation permit and instructions therewith.
5. SERVICE CONNECTION FEE is enclosed herewith, payable to the City
 \$400.00 for Sewer Service Only \$300.00 for Water Service Only
 \$700.00 for Water and Sewer Service
6. Permission is hereby granted to the City and its authorized representatives at any reasonable time to enter the premises of the applicant and any portion thereof for the purposes of inspecting all connections appurtenant to the Sewer and/or Water System.

ALL CONNECTIONS MUST BE INSPECTED BEFORE BACKFILLING

APPLICANT'S SIGNATURE

STREET ADDRESS

OWNER'S SIGNATURE, IF NOT APPLICANT

CITY, STATE & ZIP CODE

PHONE NUMBER

RECEIPT AND TERMS

Receipt is hereby acknowledged of the executed Application for Sanitary Sewer Service Connection from the person and for the property indicated below:

TERMS:

1. In the event the location of the sewer service connection is unknown, the Superintendent is to be contacted.
2. No sewer can be installed until the roof is on the house.
3. Any water and sewer construction on City property will have to be jetted and seeded and inspected by City personnel.
4. When crossing streets, dirt will have to be removed, hole filled with sand to within **eight (8) inches** of top of pavement and then **eight (8) inches** of CA6.
5. After the roadway has settled, where water lines and sewer lines were installed, the City will blacktop and the homeowner will be billed for the blacktop.
6. If the sewer line is deep enough to drain your basement, if you have one, then the wastes from the basement as well as the other floor(s) of the property must go into the sanitary sewers. Downspout and surface drainage are prohibited inasmuch as this is not a storm sewer system.

WARNING! In order to coordinate our inspections, we must be advised a day in advance before the work is done. The inspection must be made before the trench is backfilled. If trench is backfilled before the inspection is made, it will have to be reopened to permit inspection.

CERTIFICATE OF INSPECTION, APPROVAL AND PERMIT

IT IS HEREBY CERTIFIED THAT inspection has been made of the individually-owned sewer mains and sanitary service connection for the property described below, and said installation is hereby approved as in compliance with the Specification, Rules, and Regulations established by the Revised Code (Ch. 38) of this Municipality.

Permission is hereby granted to complete the construction of said individually-owned sewer main to the City Sanitary Sewerage System and to utilize the same for waste disposal in compliance at all times, with the Revised Code of this City.

NO. _____

ADDRESS: _____

INSTALLATION BY: _____

THE SERVICE IS IN OPERATION AS OF THIS ____ DAY OF _____, ____.

**CITY OF ELMWOOD
COUNTY OF PEORIA**

SIGNED: _____

PLEASE NOTE THAT WATER WILL NOT BE TURNED ON UNTIL THIS INSPECTION FORM HAS BEEN TURNED INTO THE CITY CLERK'S OFFICE.

ZONING CERTIFICATE APPLICATION

City of Elmwood

201 W. Main Street, Elmwood, IL 61529-9111

309-742-2351

The applicant is responsible for completing the application in its entirety, and submitting it to the City of Elmwood with the required fee. If the applicant is different from the property owner, an original owner's consent form must accompany the application at the time of filing. Office hours are 9am – noon and 1 – 5 pm, Monday through Friday. Staff is available to provide additional assistance if needed--- please call in advance to schedule an appointment.

Please complete this form in its entirety.

PROPERTY INFORMATION:

ADDRESS: _____ PARCEL ID: _____ - _____ - _____

CURRENT ZONING DISTRICT: _____ LOT SQUARE FOOTAGE/ACRES: _____

APPLICANT INFORMATION:

NAME: _____ DAYTIME PHONE: _____

Owner Tenant Contractor Agent

ADDRESS, CITY, STATE, ZIP: _____

EMAIL: _____ FAX: _____

SIGNATURE: _____ DATE: _____

By signing this form, I certify that I have read and understand the application and the information provided is true and correct. I understand that the Zoning Certificate is being issued based upon information I have provided on the application; that the certificate will not be valid if the application is found to be untrue or incorrect; and that enforcement action will if the application or improvements are determined to be illegal.

OWNER INFORMATION:

If applicant is not owner, please provide owner's name, address, daytime phone number:

OWNER'S NAME: _____ DAYTIME PHONE: _____

OWNER'S ADDRESS, CITY, STATE, ZIP: _____

I am applying for a Zoning Certificate for:

- Building permit, complete Attachment A Sign permit, complete Attachment B
- Home Occupation, complete Attachment C Fence Permit, complete Attachment D
- Non-conforming Use, complete Attachment E

The appropriate Attachment must be completed for your application to be processed.

ATTACHMENT A (Zoning Certificate Application)

ZONING CERTIFICATE APPLICATION FOR BUILDING PERMIT

No Zoning Certificate is required for alteration/remodeling that does not involve change of use or expansion of structure(s) and/or use or for demolition.

DEVELOPMENT INFORMATION	CURRENT	PROPOSED
Use		
Building square footage		
Height		
Total # parking spaces, including accessible parking spaces		
Accessible parking spaces		

- Residential***
 Dwelling Attached garage Detached garage
 Porch/Deck Carport Swimming pool
 Expansion of structure(s)
- Non-residential****
 Signs – See Attachment B

*For residential, a site plan required for all applications. 8 ½ x 11’ plan drawn to identifiable engineer or architect scale that includes:

- North arrow
- All property lines
- Adjacent streets, alleys, sidewalks
- All parking areas & driveways, indicate surface material
- Exact location of all existing and proposed buildings, including attached garages, detached garages, decks, sunrooms, pools, & sheds
- The proposed structure (includes signs) & the distance the structure will be from all property lines & other structures.

**For non-residential, a site plan required for all applications that includes requirements above for residential plus full size plans drawn to identifiable engineer or architect scale that include:

- Exact locations of all buildings, structures, utility structures, streets, sidewalks, access facilities, including on-site vehicular geometry, proposed utility work in the right of way.
- Parking spaces and aisles with dimensions.
- Number and location of required and provided parking spaces, including accessible parking space and appropriate signs.
- Locations and dimensions of required yards and transitional buffer yards.

- Locations and dimensions of walks, fences, and exterior lighting structures.
- Dumpster, refuse, and recycling locations and screening treatments.
- A landscape plan showing exact location, size, quantity and type of all existing and proposed landscaping.
- Square footage of all existing and proposed buildings
- Signage plan for the project, showing all existing and proposed signage with locations dimensions, and numbers.
- For more intensive projects, the Zoning Administrator may require:
 - Existing and proposed topographic contours.
 - Easements – location, width, and purpose. Appropriate easement documents are required.
 - Method and calculations of stormwater retention.
 - Sanitary sewer calculations.
 - Locations/dimensions of fire hydrants and water mains.